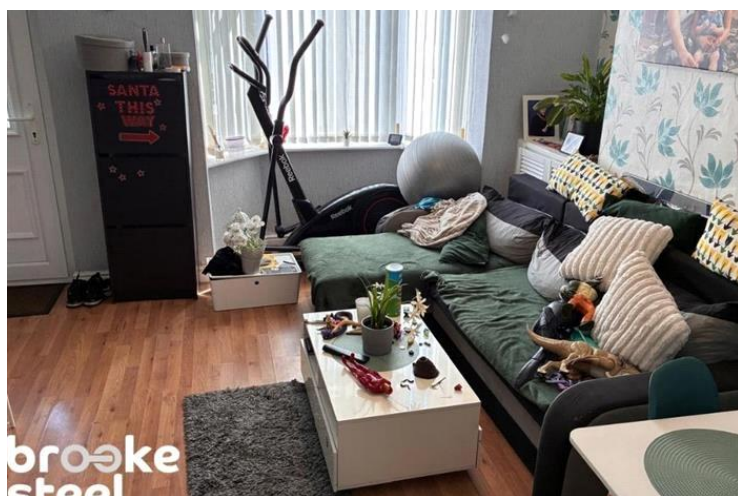
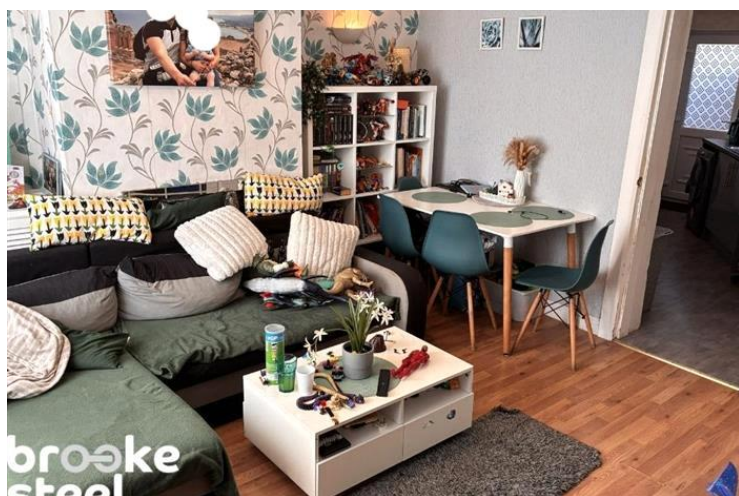




Wellfield Street, Warrington

Offers Over £100,000 Leasehold

Ideal home or investment property. Two-bed end-terrace on popular Wellfield Street, close to the sought-after primary school, amenities, parks and transport links. Long-term tenants since April 2020, currently achieving £840 pcm. Private rear garden/courtyard.

Close to Local Amenities | Double Bedroom | Double Glazing | Rear Courtyard | Three Piece Bathroom Suite | Two Bedrooms |

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An Ideal Home or Investment Property

A well-presented bay fronted end-of-terrace property situated on the highly sought-after Wellfield Street, a popular residential location particularly renowned for its proximity to the highly regarded local primary school. The property also offers easy access to a range of local amenities, parks, shops and excellent transport links.

The accommodation briefly comprises a vestibule entrance, spacious lounge and modern kitchen with ample counter space, laminate flooring and neutral décor.

To the first floor are two good-sized double bedrooms and an attractive three-piece bathroom suite.

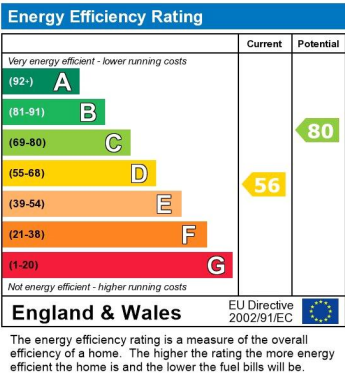
Externally, the property benefits from a small front garden and a private-use rear courtyard/garden area, with pedestrian access through to the neighbouring garden.

The property is currently tenanted by long-term tenants who have occupied the property since 1st April 2020, providing an attractive opportunity for investors. The current rental income is £840 per calendar month.

Further benefits include gas central heating and double glazing.

With its desirable location, proximity to the popular primary school and established rental history, this property represents an ideal home or investment property and is well worth viewing.

Council Tax Band: A
Tenure: Leasehold (848 years)



Whilst every effort is made to ensure the accuracy of these details, it should be noted that the measurements are approximate only. Floorplans are for representation purposes only and prepared according to the RICS Code of Measuring Practice by our floorplan provider. Therefore, the layout of doors, windows and rooms are approximate and should be regarded as such by any prospective purchaser. Any internal photographs are intended as a guide only and it should not be assumed that any of the furniture/fitings are included in any sale. Where shown, details of lease, ground rent and service charge are provided by the vendor and their accuracy cannot be guaranteed, as the information may not have been verified and further checks should be made either through your solicitor/conveyance. Where appliances, including central heating, are mentioned, it cannot be assumed that they are in working order, as they have not been tested. Please also note that wiring, plumbing and drains have not been checked.